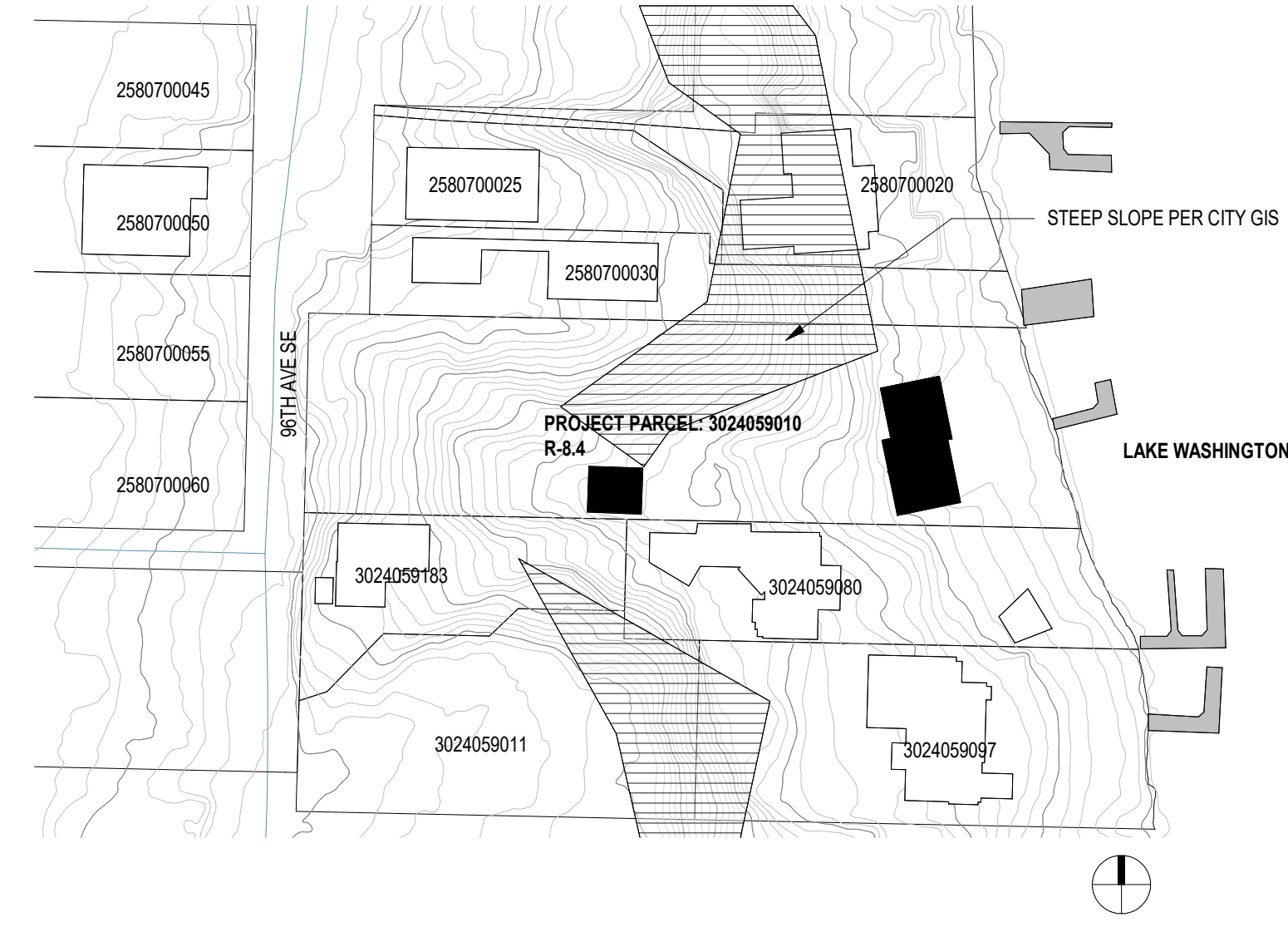




VICINITY MAP - ADJACENT PARCELS



PROJECT INFORMATION	
TAX PARCEL NUMBER	302405-9010
JURISDICTION	CITY OF MERCER ISLAND
PERMIT NUMBER	LAND USE: CAO21-007, SHL21-042, SEP21-027 BUILDING PERMIT: 2205-199
LEGAL DESCRIPTION	SOUTH 100 FEET OF THE NORTH 400 FEET OF GOVERNMENT LOT 2, SECTION 30, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M. TOGETHER WITH SECOND CLASS SHORELANDS ADJOINING SAID PREMISES
YEAR BUILT:	1934
YEAR RENOVATED:	1970
APPLICABLE CODES:	2018 INTERNATIONAL BUILDING CODE (IBC) 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) 2018 INTERNATIONAL MECHANICAL CODE (IMC) 2018 INTERNATIONAL FUEL GAS CODE (IFGC) 2018 UNIFORM PLUMBING CODE (UPC) 2018 INTERNATIONAL FIRE CODE (IFC) 2018 INTERNATIONAL EXISTING BUILDING CODE 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE 2018 WASHINGTON STATE ENERGY CODE (WSEC) ICC/ANSI A117-1-09, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, WITH STATEWIDE AND CITY AMENDMENTS
ZONE:	R-8.4 SINGLE FAMILY
LOT SIZE:	37427 SQUARE FEET PER SURVEY DATED 8/6/21
CRITICAL AREAS:	STEEP SLOPE PER SURVEY, LANDSCAPE HAZARDS, SEISMIC HAZARDS AND EROSION HAZARDS PER GEOTECH. WETLAND DELINEATION PER ECOLOGIST
ACCESS:	PRIVATE DRIVEWAY FROM 96TH AVE SE
EASEMENTS:	UTILITY EASEMENT: PUGET SOUND POWER AND LIGHT COMPANY, ELECTRIC TRANSMISSION AND DISTRIBUTION LINE, 11' FROM WEST PROPERTY LINE UTILITY EASEMENT: MERCER ISLAND SEWER DISTRICT, IN LAKE WASHINGTON
RECORDINGS	NOT AN ADJ AFFIDAVIT: 20220929000290 SITE SUBDIVISION COVENANT: 20221025000362
ADDITIONAL INFORMATION	ADDITIONAL CODE ANALYSIS AND PROJECT INFORMATION ON G100

PROJECT DESCRIPTION

THE PROJECT SITE IS A WATERFRONT SITE ON THE SOUTHEAST SIDE OF MERCER ISLAND. THE SLOPED SITE RUNS PRIMARILY WEST-EAST, ACCESSED VIA 96TH AVENUE SE AND DESCENDS TO THE LAKE WASHINGTON SHORELINE. THREE STRUCTURES CURRENTLY OCCUPY THE SITE: A PRIMARY TWO-STORY RESIDENCE, A TWO-CAR GARAGE AND A SMALL POTTING SHED. THE HOUSE, GARAGE AND SHED ARE IN POOR STATE OF REPAIR AND WILL BE DEMOLISHED FOR THE CONSTRUCTION OF THE NEW RESIDENCE.

THERE ARE SEVERAL SENSITIVE AND ENVIRONMENTALLY CRITICAL AREAS ON THE SITE. THE ENTIRE PROPERTY IS CHARACTERIZED BY RELATIVE STEEPNESS AS THERE IS A FREQUENT CHANGE IN GRADE ACROSS THE FULL SPAN OF THE PARCEL. CITY OF MERCER ISLAND CRITICAL AREAS MAPPING INDICATES THAT THE CENTRAL REGION OF THE SITE IS A DESIGNATED STEEP SLOPE AREA AND NEARLY THE ENTIRE PROPERTY IS LOCATED IN A PROTECTED STEEP SLOPE AREA. IN ADDITION, THE WHOLE SITE IS MAPPED AS A LANDSLIDE HAZARD AREA. OTHER ENVIRONMENTAL HAZARDS IDENTIFIED OVER THE ENTIRE SITE INCLUDE POTENTIAL SLIDE AND EROSION HAZARD AREAS. THE EASTERN REGION OF THE PROPERTY IS LOCATED WITHIN A DESIGNATED SEISMIC HAZARD AREA.

THE NEW RESIDENCE WILL BE A THREE-STORY STRUCTURE AND NEW DETACHED GARAGE. A MAJORITY OF THE PROPOSED FOOTPRINT IS LOCATED WITHIN THE EXISTING BUILDING PAD. THE FIRST TWO STORIES ARE LOCATED NEAR THE WATER, WITH THE THIRD STORY EXTENDING WEST TOWARD THE EXISTING PARKING PAD. THE THIRD STORY CONNECTS TO THE PARKING PAD WITH AN ELEVATED COVERED WALKWAY WHICH WILL ALLOW THE NEW RESIDENTS TO AGE-IN-PLACE AT THIS HOME.

A CENTRAL EXTERIOR STAIRWAY WILL CONNECT THE UPPER PARKING PAD TO THE WATERFRONT. LANDSCAPING FEATURES WILL BE INCLUDED THROUGHOUT.

PROJECT TEAM

OWNER JANET BUTTENWIESER & MATT WILEY 6838 96TH AVE SE MERCER ISLAND, WA 98040 TEL: 206.388.8558 CONTACT: MATT WILEY	ARCHITECT THE MILLER HULL PARTNERSHIP, LLC 71 COLUMBIA STREET, 6TH FLOOR SEATTLE, WA 98104 TEL: 206.254.2022 CONTACT: APRIL NG
CIVIL ENGINEER LPD ENGINEER PLLC 1932 1ST AVENUE, #201 SEATTLE, WA 98101 TEL: 206.725.1211 CONTACT: LAURIE PFARR	GENERAL CONTRACTOR KREKOW JENNINGS INC 2011 E OLIVE STREET SEATTLE, WA 98122 TEL: 206.625.0505 CONTACT: BEN BLACK
LANDSCAPE ARCHITECT BERGER PARTNERSHIP 1927 POST ALLEY, #2 SEATTLE, WA 98101 TEL: 206.325.8877 CONTACT: SHANNON LESSIE	STRUCTURAL ENGINEER PCS STRUCTURAL SOLUTIONS 1011 WESTERN AVENUE, SUITE 810 SEATTLE, WA 98104 TEL: 206.292.5076 CONTACT: TED RYAN
GEOTECHNICAL ENGINEER ASPECT CONSULTING LLC 710 2ND AVE, #550 SEATTLE, WA 98104 TEL: 206.413.5398 CONTACT: CHIP BARNETT	MECHANICAL ENGINEER SAZAN GROUP 600 STEWART STREET, SUITE 1400 SEATTLE, WA 98104 TEL: 206.267.1700 CONTACT: TOM MARSELLIE
ARBORIST TREE SOLUTIONS INC. 2940 WESTLAKE AVE N, #200 SEATTLE, WA 98109 TEL: 206.528.4670 CONTACT: CONNOR MCDERMOTT	ECOLOGIST THE WATERSHED COMPANY 750 6TH STREET S KIRKLAND, WA 98033 TEL: 425.922.5242 CONTACT: NELL LUND
LIGHTING DESIGNER LIGHTING DESIGNS, INC 114 ALASKAN WAY SOUTH #602 SEATTLE, WA 98104 TEL: 206.293.2813 CONTACT: SIDNEY GENETTE	ENVELOPE CONSULTANT 4EA BUILDING SCIENCE 12721 30TH AVENUE NE, 2ND FLOOR SEATTLE, WA 98125 TEL: 206.728.2358 CONTACT: JEFF SPEERT

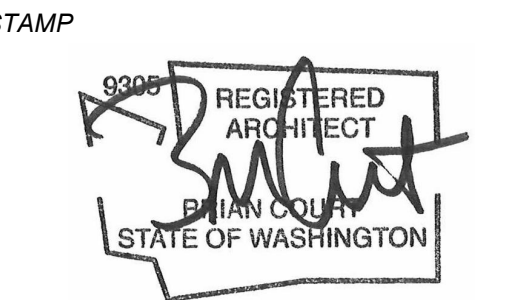
MERCER ISLAND HOUSE: CASCADE

100% CONSTRUCTION DOCUMENTS

MERCER ISLAND, WA
FEBRUARY 24, 2023

SHEET INDEX

NO.	SHEET NAME	NO.	SHEET NAME	NO.	SHEET NAME
	SURVEY	L604	PLANTING DETAILS	S121	LEVEL 2 - FLOOR FRAMING PLAN
	SURVEY SURVEY	L605	PLANTING SCHEDULE, DETAILS & NOTES	S121P	LEVEL 2 - FLOOR FRAMING PENETRATION PLAN
	GENERAL		ARCHITECTURAL	S131	LEVEL 3 - FLOOR FRAMING PLAN
G000	SHEET INDEX & PROJ INFO	A001	LEGENDS, NOTES & ABBREVIATIONS	S131P	LEVEL 3 - FLOOR FRAMING PENETRATION PLAN
G100	SITE PLAN	A010	ASSEMBLIES	S141	ROOF - FRAMING PLAN
G101	SITE PLAN	A030	DOORS, LOUVERS & FINISH LEGEND	S151	GARAGE AND SHED PLANS
G102	SITE SECTIONS	A050	FRAME ELEVATIONS	S161	COVERED WALKWAY PLANS
G200	CODE DIAGRAMS	A111	LEVEL 1 - FLOOR PLAN	S301	SLAB-ON-GRADE DETAILS
G201	CODE DIAGRAMS	A113	LEVEL 1 - REFLECTED CEILING PLAN	S302	FOUNDATION DETAILS
C100	TESS AND DEMOLITION PLAN	A121	LEVEL 2 - FLOOR PLAN	S303	FOUNDATION DETAILS
C101A	TREE RETENTION PLAN A - REMOVAL	A122	LEVEL 2 - REFLECTED CEILING PLAN	S304	FOUNDATION DETAILS
C101B	TREE RETENTION PLAN B - PROPOSED	A123	LEVEL 2 - REFLECTED CEILING PLAN	S305	FOUNDATION DETAILS
C102	TESS DETAILS	A131	LEVEL 3 - FLOOR PLAN	S400	SOLDIER PILE WALL PLAN
C200A	GRADING PLAN	A133	LEVEL 3 - REFLECTED CEILING PLAN	S401	SHORING WALL ELEVATIONS
C200B	DRAINAGE PLAN	A141	ROOF PLAN	S402	SHORING WALL ELEVATIONS
C300	UTILITIES & PAVING PLAN	A151	GARAGE PLANS	S403	SHORING DETAILS
C400	DETAILS	A152	GARAGE ELEVATIONS, SECTIONS	S410	TEMPORARY SHORING WALL PLANS & ELEVATIONS
C401	DETAILS	A161	COVERED WALKWAY PLANS	S411	TEMPORARY SHORING WALL DETAILS
C402	DETAILS	A162	COVERED WALKWAY ELEV. SECTIONS	S420	GARAGE SHORING WALL ELEVATION & DETAILS
L100	COMPOSITE SITE PLAN	A171	SHED PLANS, ELEV. SECTION	S501	STEEL FRAMING DETAILS
L101	LAYOUT & MATERIAL PLAN	A201	BUILDING ELEVATIONS	S701	WOOD FRAMING DETAILS
L102	LANDSCAPE ENLARGEMENTS	A202	BUILDING ELEVATIONS	S702	WOOD FRAMING DETAILS
L103	LANDSCAPE ENLARGEMENTS	A203	BUILDING ELEVATIONS	S703	WOOD FRAMING DETAILS
L104	ROOF LAYOUT & MATERIAL PLAN & DETAILS	A301	BUILDING ELEVATIONS / SECTIONS	S704	WOOD FRAMING DETAILS
L301	SITE SECTIONS	A302	BUILDING SECTIONS	S705	WOOD FRAMING DETAILS
L302	SITE SECTIONS	A303	BUILDING SECTIONS	S706	WOOD FRAMING DETAILS
L401	SITE DETAILS - PAVING & STAIRS	A350	FENCE ELEVATIONS	S707	WOOD FRAMING DETAILS
L402	SITE DETAILS - SPINE / RUNNEL	A410	VERTICAL TRANSPORTATION	S708	WOOD FRAMING DETAILS
L403	SITE DETAILS - SPINE / RUNNEL	A411	VERTICAL TRANSPORTATION	S709	WOOD FRAMING DETAILS
L404	SITE DETAILS - SPINE / RUNNEL	A412	VERTICAL TRANSPORTATION	S710	WOOD FRAMING DETAILS
L405	SITE DETAILS		STRUCTURAL	103	
L406	SITE DETAILS	S000	COVER SHEET		
L407	SITE DETAILS - ECA WALL	S001	GENERAL NOTES		
L408	SITE DETAILS - ECA WALL	S002	GENERAL NOTES		
L601	PLANTING PLAN	S003	GENERAL NOTES		
L602	ROOF PLANTING PLAN & DETAILS	S004	GENERAL NOTES		
L603	PLANTING SCHEDULE	S005	GENERAL NOTES		
		S110	PLAN NOTES		
		S111a	PILE PLAN		
		S111b	PILE PLAN		
		S112	LEVEL 1 - FOUNDATION PLAN		



MERCER ISLAND HOUSE: CASCADE

6838 96TH AVE SE
MERCER ISLAND, WA 98040

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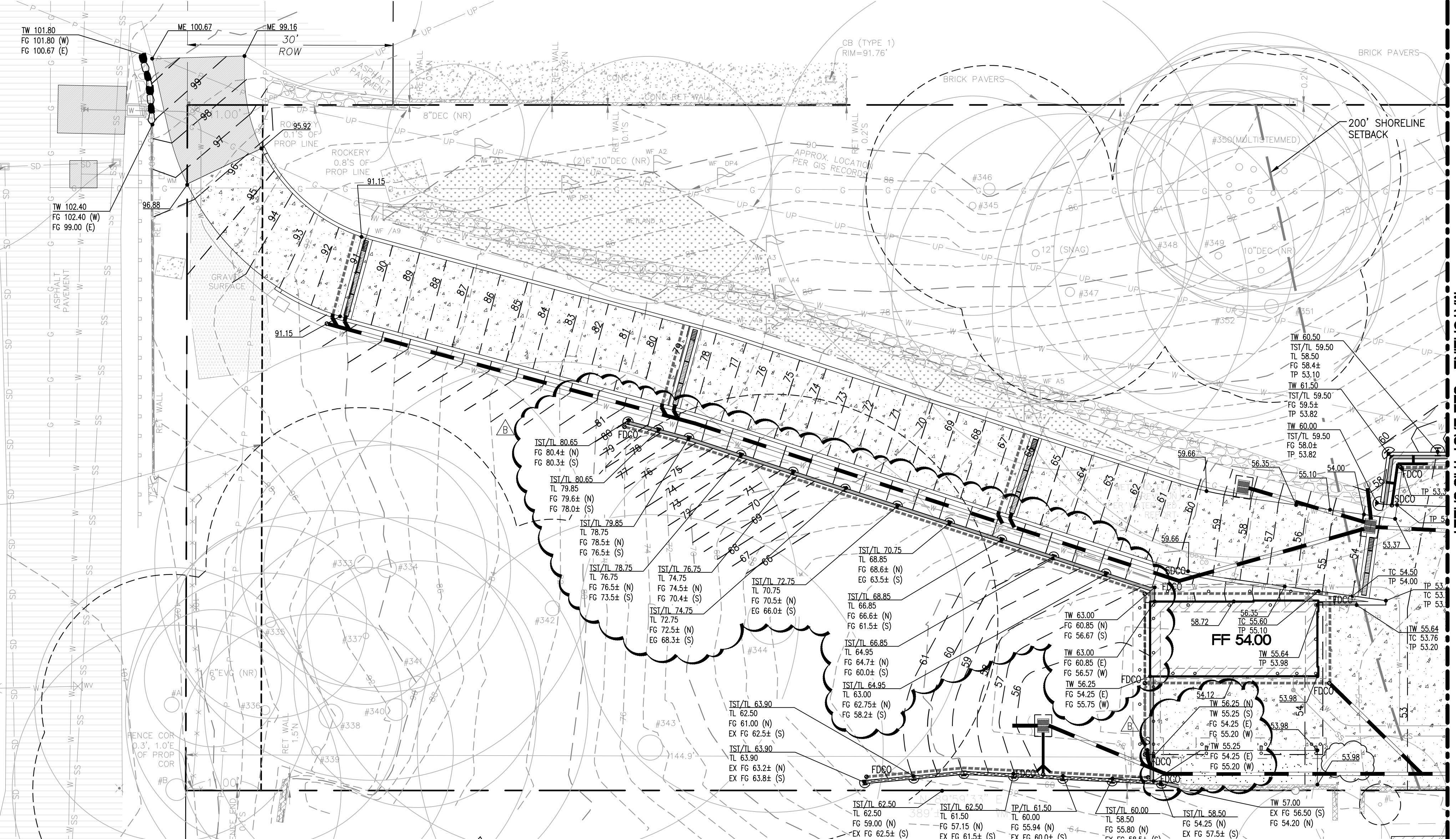
FEBRUARY 24, 2023

No.	Description	Date
1	Building Permit Resubmittal 1	10/27/22
2	Building Permit Resubmittal 2	1/6/23
3	Building Permit Resubmittal 3	2/24/23
B	PERMIT REVISION	12/08/23

Drawn: AN
Checked: AN
MJH Proj No.: A20.0085.00

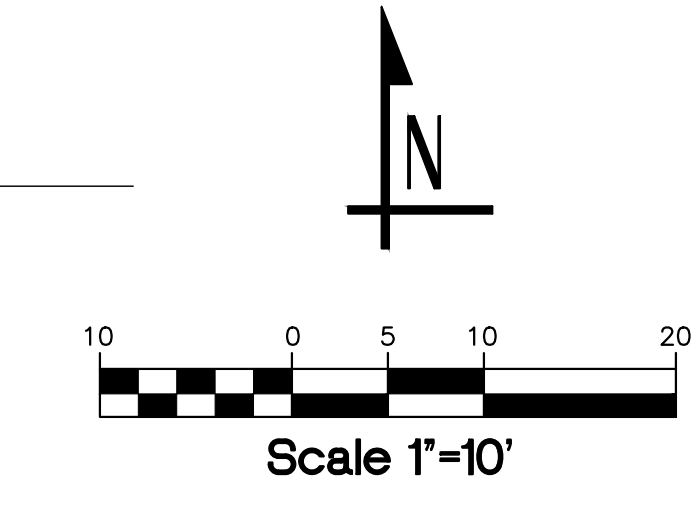
SHEET INDEX & PROJ INFO

G000



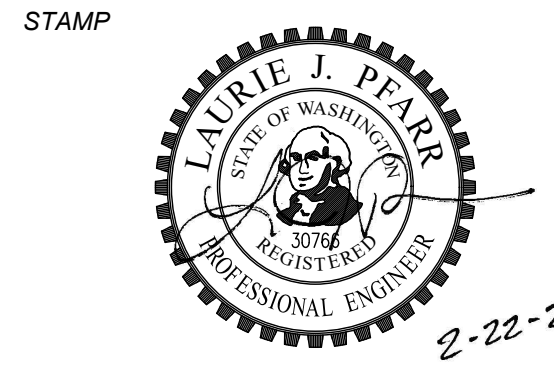
LEGEND

- 230 — PROPERTY LINE
- - - 230 - - - EX CONTOUR (INDEX)
- - - 231 - - - EX CONTOUR
- - - 230 - - - PROPOSED CONTOUR (INDEX)
- - - 231 - - - PROPOSED CONTOUR
- SPOT ELEVATION
- 230 — TOP OF PAVE, TOP OF WALL, FINISHED GRADE
- 231 — TOP OF STEP, BOTTOM STEP, MATCH EX
- FF 78.0 FINISHED FLOOR ELEVATION
- ▨ EX BUILDING
- ▨ PROPOSED BUILDING
- ▨ CONCRETE PAVEMENT
- ▨ ASPHALT (AC) PAVEMENT
- ▨ EX ASPHALT (AC) PAVEMENT
- ▨ GRAVEL SURFACING PER LA
- ▨ PAVERS PER LA
- ▨ GRASSPAVE PER LA
- SITE WALL
- TRENCH/CHANNEL DRAIN
- BIORETENTION POND
- QUARRY SPALL DISCHARGE PAD
- AREA/YARD DRAIN
- CATCH BASIN TYPE 1
- STORM DRAINAGE PIPE
- FOOTING/SUBSURFACE DRAIN
- SDCO • STORM DRAIN CLEANOUT
- FDCO • FOOTING DRAIN CLEANOUT
- DS • DOWNSPOUTS
- SS — SIDE SEWER PIPE
- SEWER CLEANOUT
- SIDE SEWER CONNECTION
- W — WATER SERVICE LINES



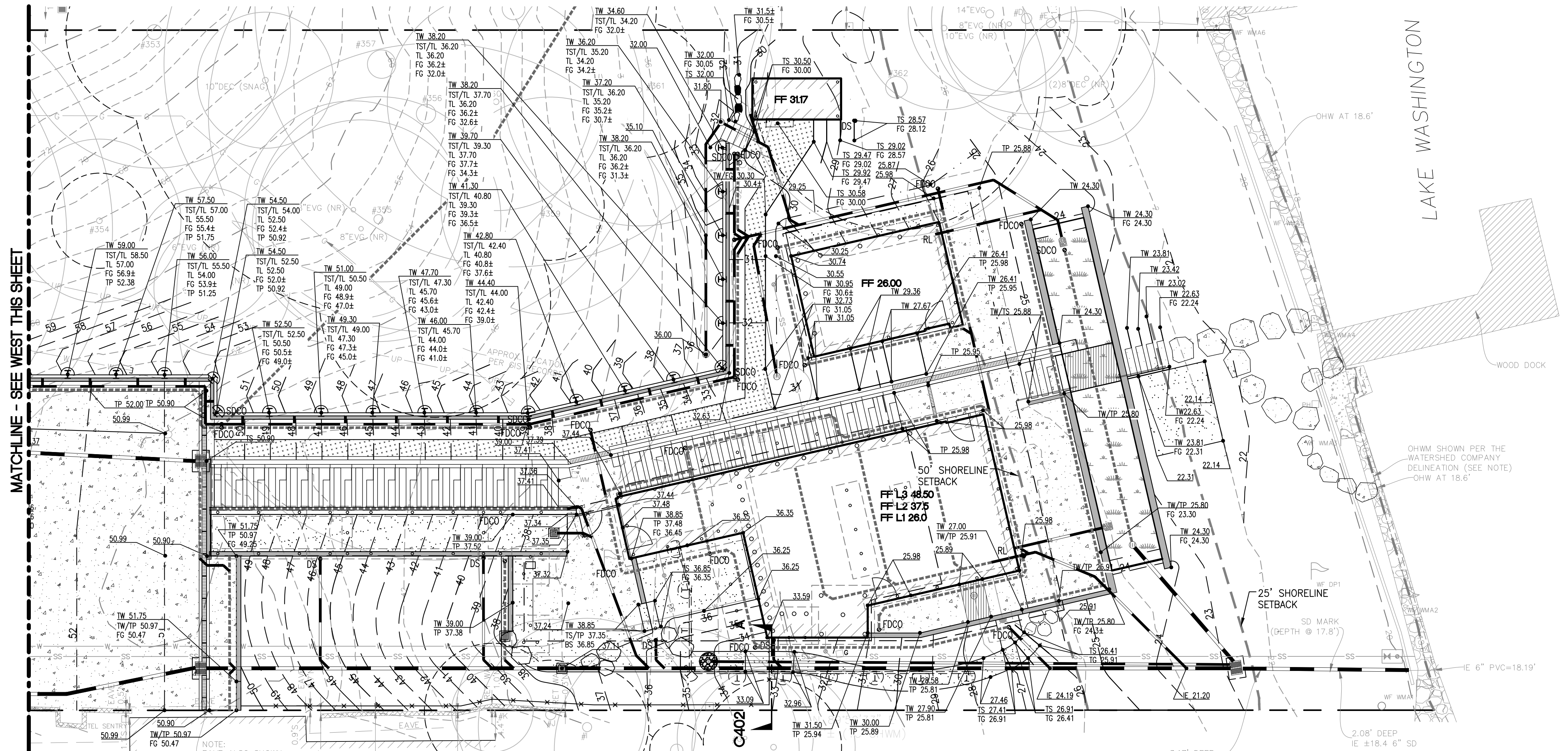
MILLER HULL
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 www.lpdengineering.com



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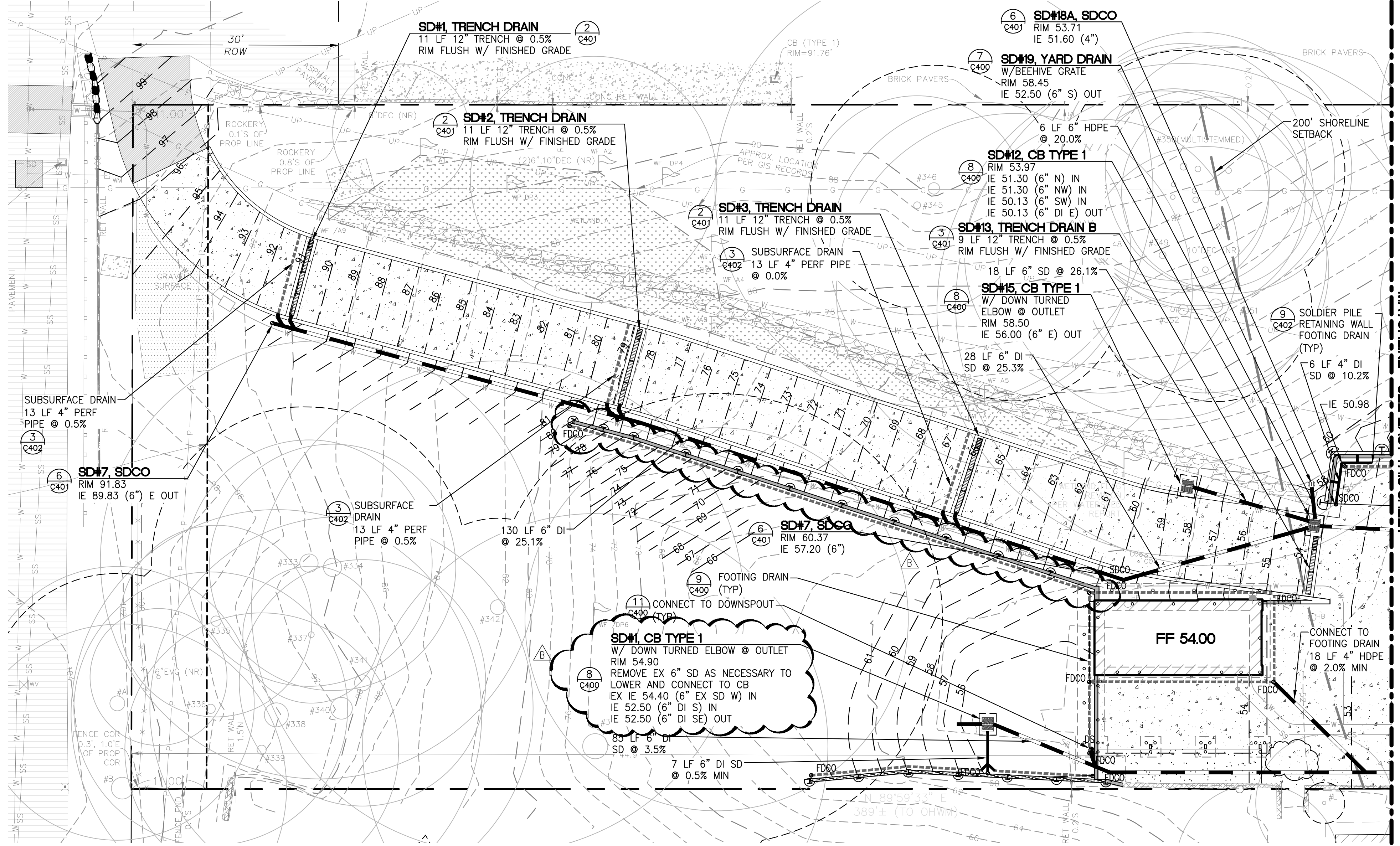
No.	Description	Date
CA	REVISION	
BA	PERMIT REVISION	12/08/23

Drawn: EWV
 Checked: ACW
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GRADING PLAN

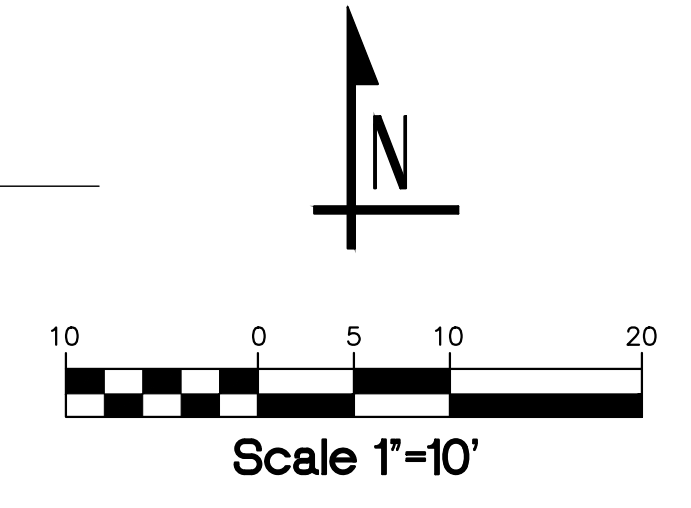
C200A

811 Know what's below.
 Call before you dig.
 Dial 811

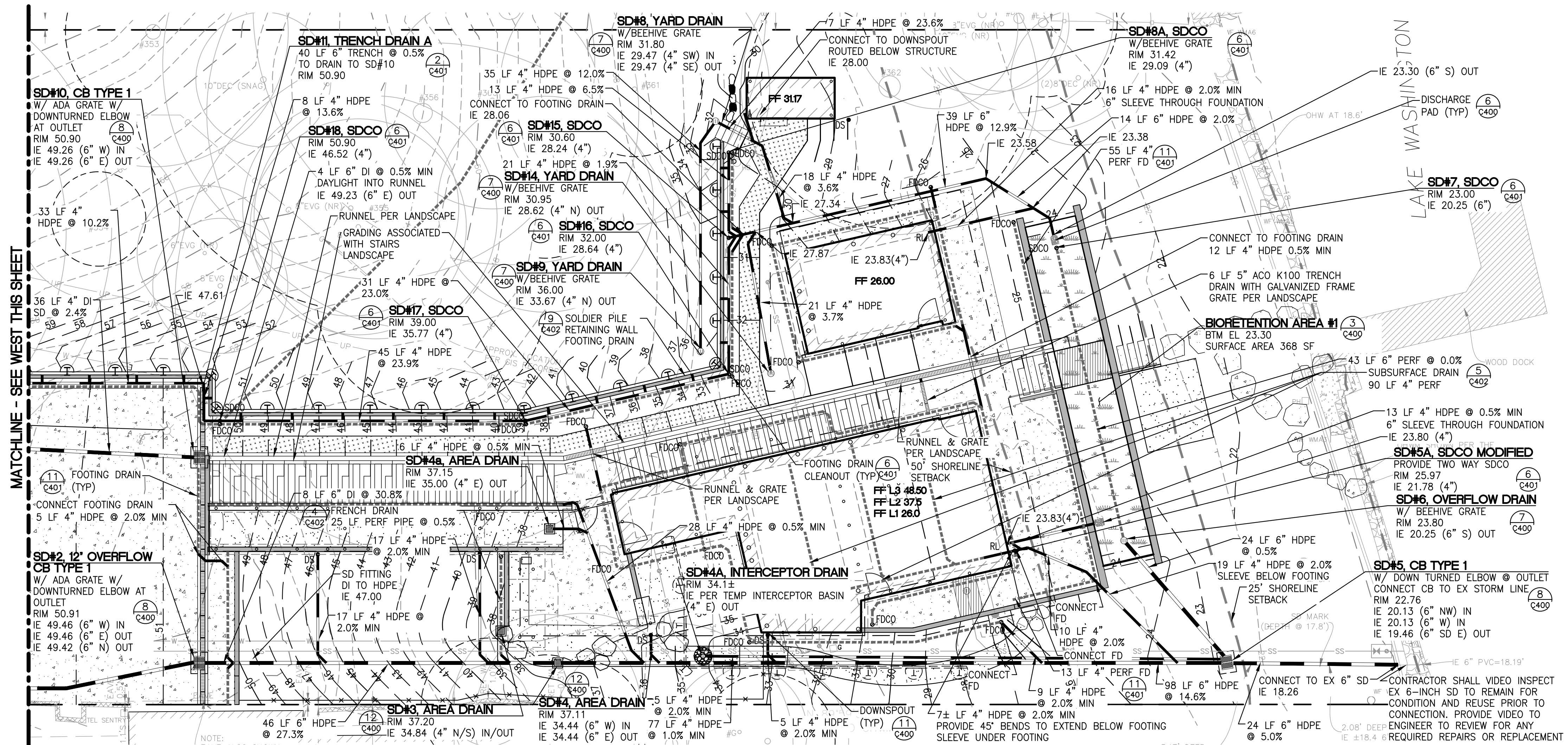


LEGEND

- PROPERTY LINE
- - - EX CONTOUR (INDEX)
- - - EX CONTOUR
- - - PROPOSED CONTOUR (INDEX)
- - - PROPOSED CONTOUR
- SPOT ELEVATION
- TOP OF PAVE, TOP OF WALL, FINISHED GRADE
- TOP OF STEP, BOTTOM STEP, MATCH EX
- FF 78.0 FINISHED FLOOR ELEVATION
- ▨ EX BUILDING
- ▨ PROPOSED BUILDING
- ▨ CONCRETE PAVEMENT
- ▨ ASPHALT (AC) PAVEMENT
- ▨ EX ASPHALT (AC) PAVEMENT
- ▨ GRAVEL SURFACING PER LA
- ▨ PAVERS PER LA
- ▨ GRASSPAVE PER LA
- ▨ SITE WALL
- ▨ TRENCH/CHANNEL DRAIN
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- ▨ QUARRY SPALL DISCHARGE PAD
- ▨ AREA/YARD DRAIN
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- DS • DOWNSPOUTS
- SS --- SIDE SEWER PIPE
- SEWER CLEANOUT
- SIDE SEWER CONNECTION
- W --- WATER SERVICE LINES



MATCHLINE - SEE EAST THIS SHEET

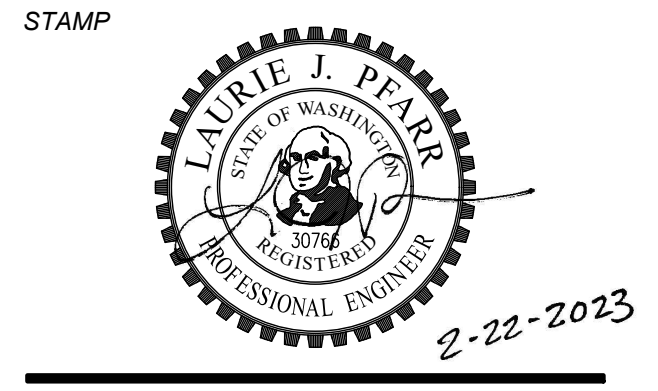


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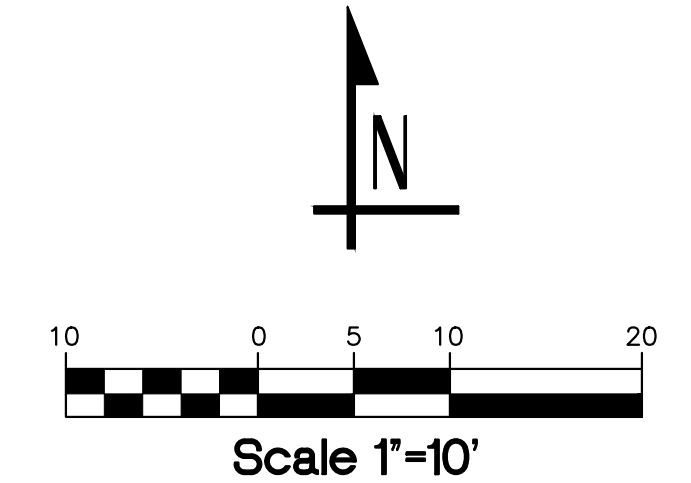
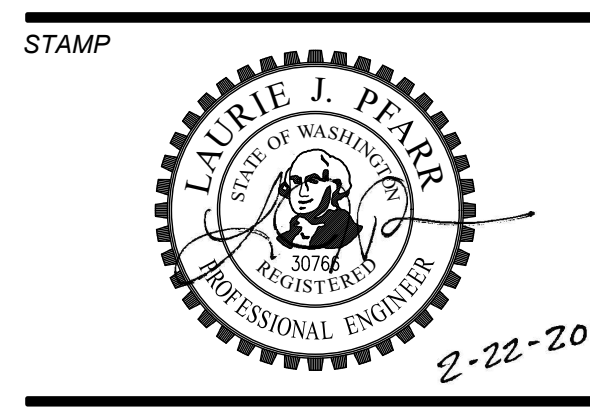
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PR	PERMIT REVISION	12/08/23

Drawn: EWV
Checked: ACW
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Issue Date: FEBRUARY 24, 2023

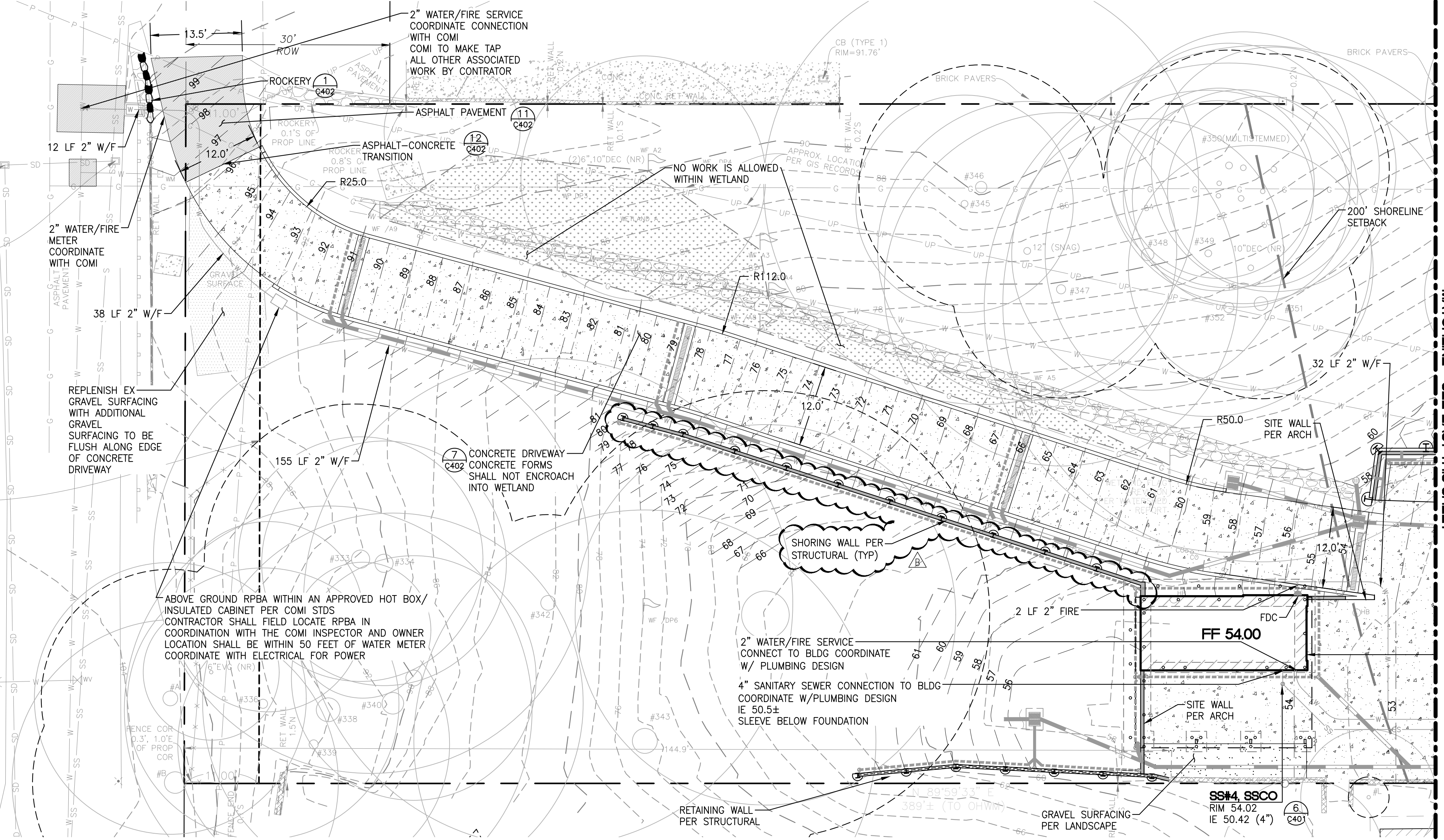
DRAINAGE PLAN

C200B

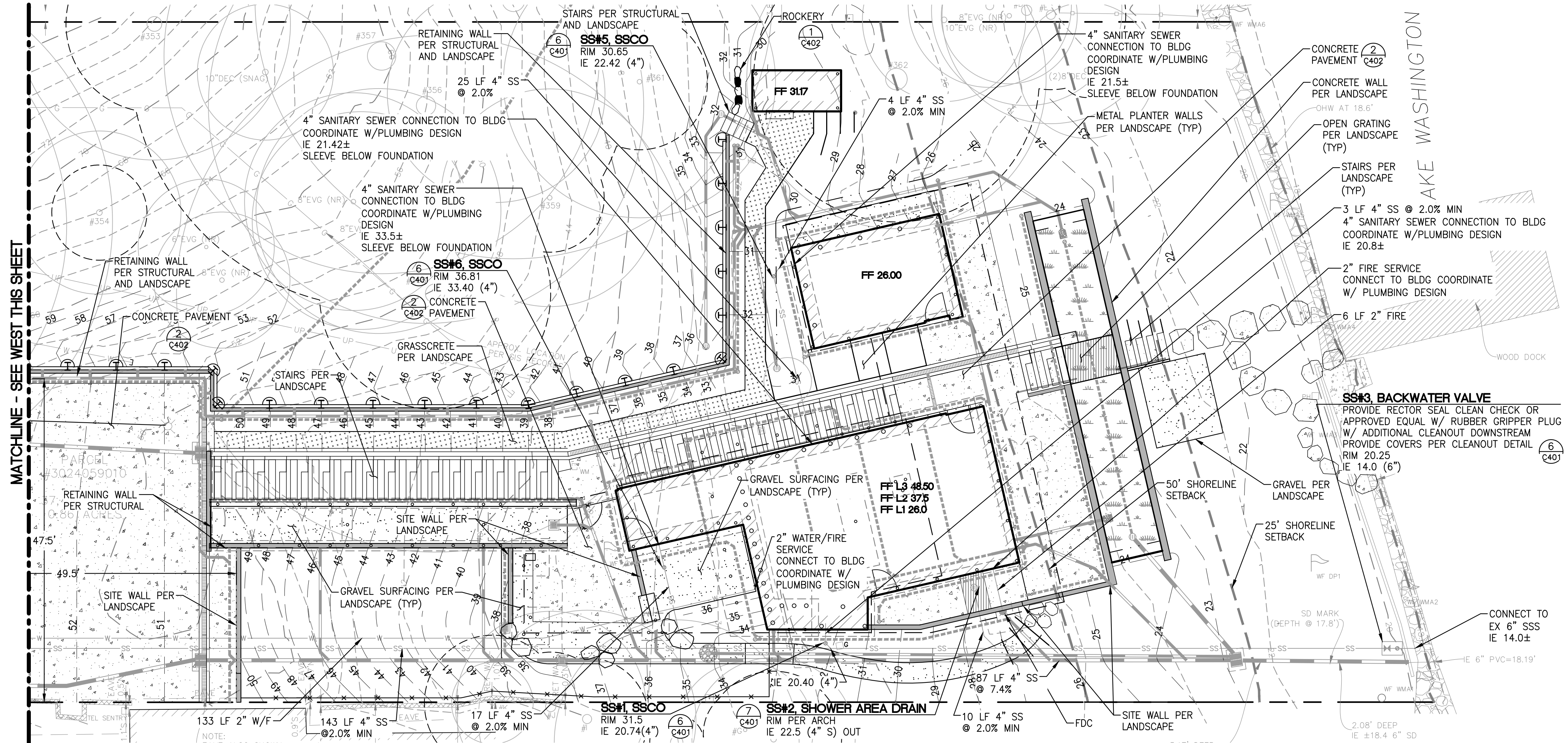


LEGEND

- PROPERTY LINE
- - - EX CONTOUR (INDEX)
- - - EX CONTOUR
- - - PROPOSED CONTOUR (INDEX)
- - - PROPOSED CONTOUR
- FF 78.0** FINISHED FLOOR ELEVATION
- [Hatched Box] EX BUILDING
- [Hatched Box] PROPOSED BUILDING
- [Dotted Box] CONCRETE PAVEMENT
- [Horizontal Lines Box] ASPHALT (AC) PAVEMENT
- [Horizontal Lines Box] EX ASPHALT (AC) PAVEMENT
- [Dotted Box] GRAVEL SURFACING PER LA
- [Cross-hatched Box] PAVERS PER LA
- [Cross-hatched Box] GRASSPAVE PER LA
- [Solid Line] SITE WALL
- [Dashed Line] TRENCH/CHANNEL DRAIN
- [Dotted Box] BIORETENTION POND
- [Dotted Box] QUARRY SPALL DISCHARGE PAD
- [Dotted Box] AREA/YARD DRAIN
- [Dotted Box] CATCH BASIN TYPE 1
- [Arrow] STORM DRAINAGE PIPE
- [Dotted Box] FOOTING/SUBSURFACE DRAIN
- [Dotted Box] STORM DRAIN CLEANOUT
- [Dotted Box] FOOTING DRAIN CLEANOUT
- [Dotted Box] DOWNSPOUTS
- [Dotted Box] SIDE SEWER PIPE
- [Dotted Box] SEWER CLEANOUT
- [Dotted Box] SIDE SEWER CONNECTION
- [Dotted Box] WATER SERVICE LINES



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MATCHLINE - SEE WEST THIS SHEET



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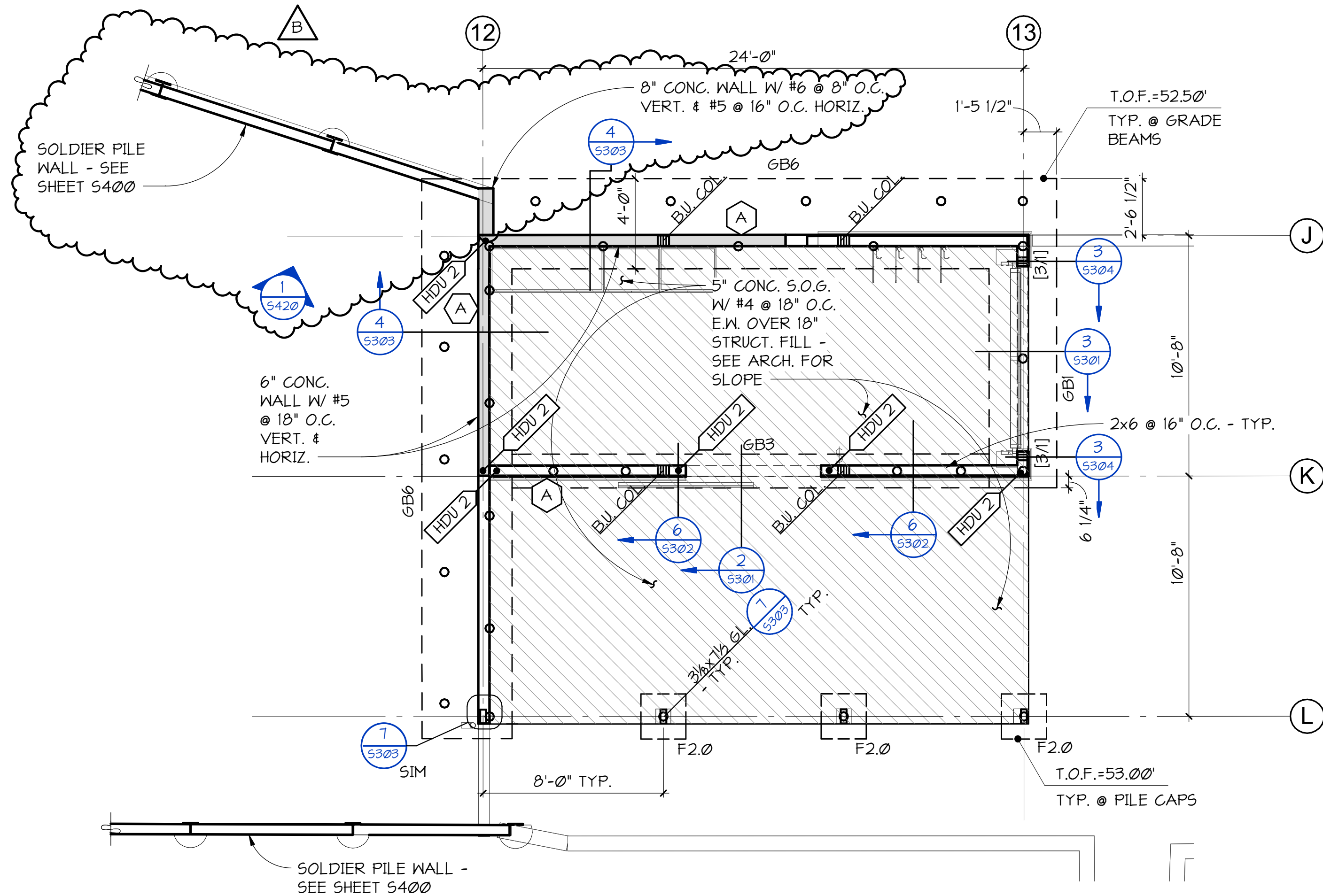
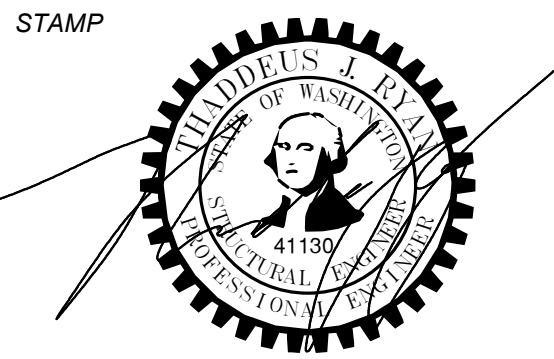
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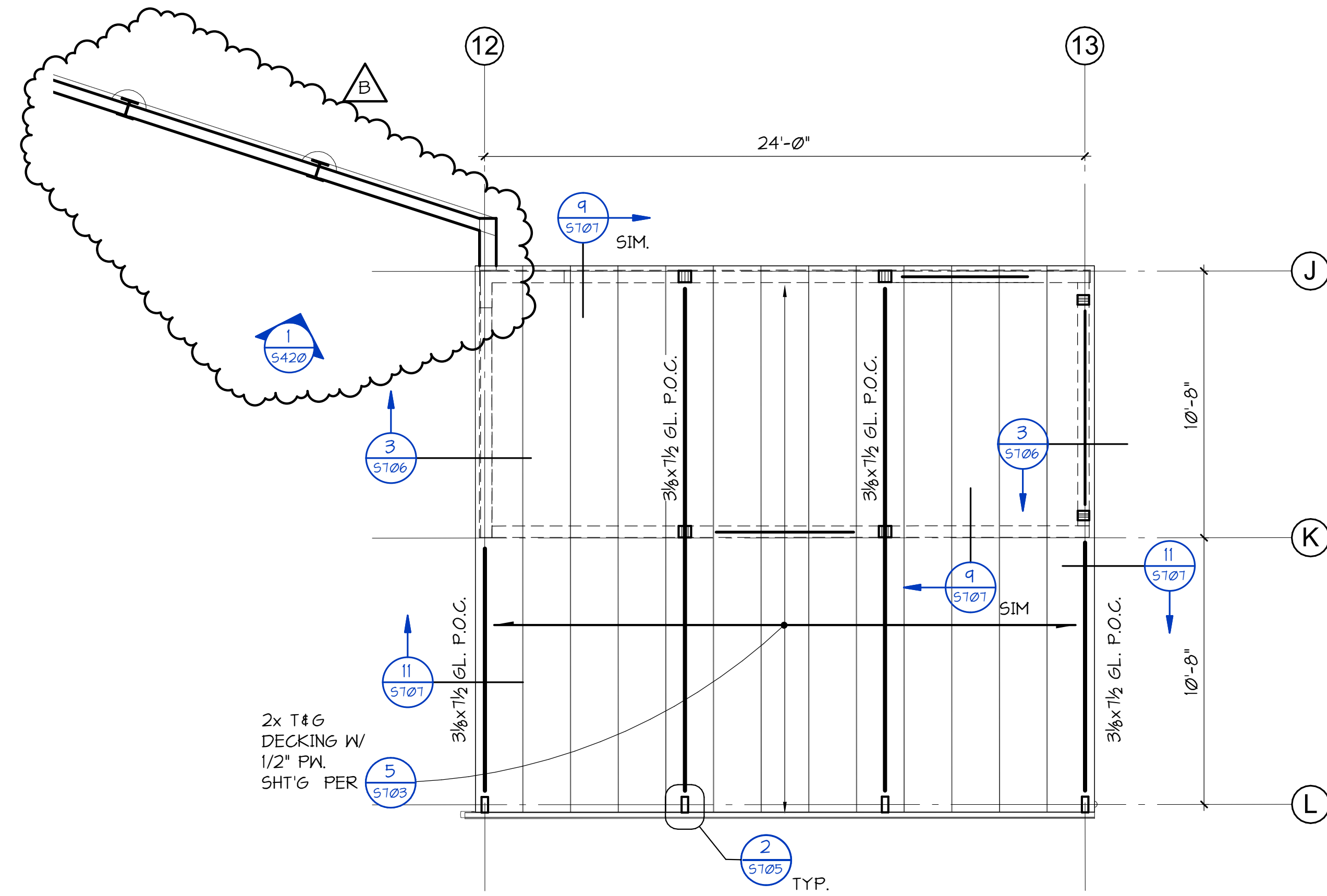
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Drawn: EVW
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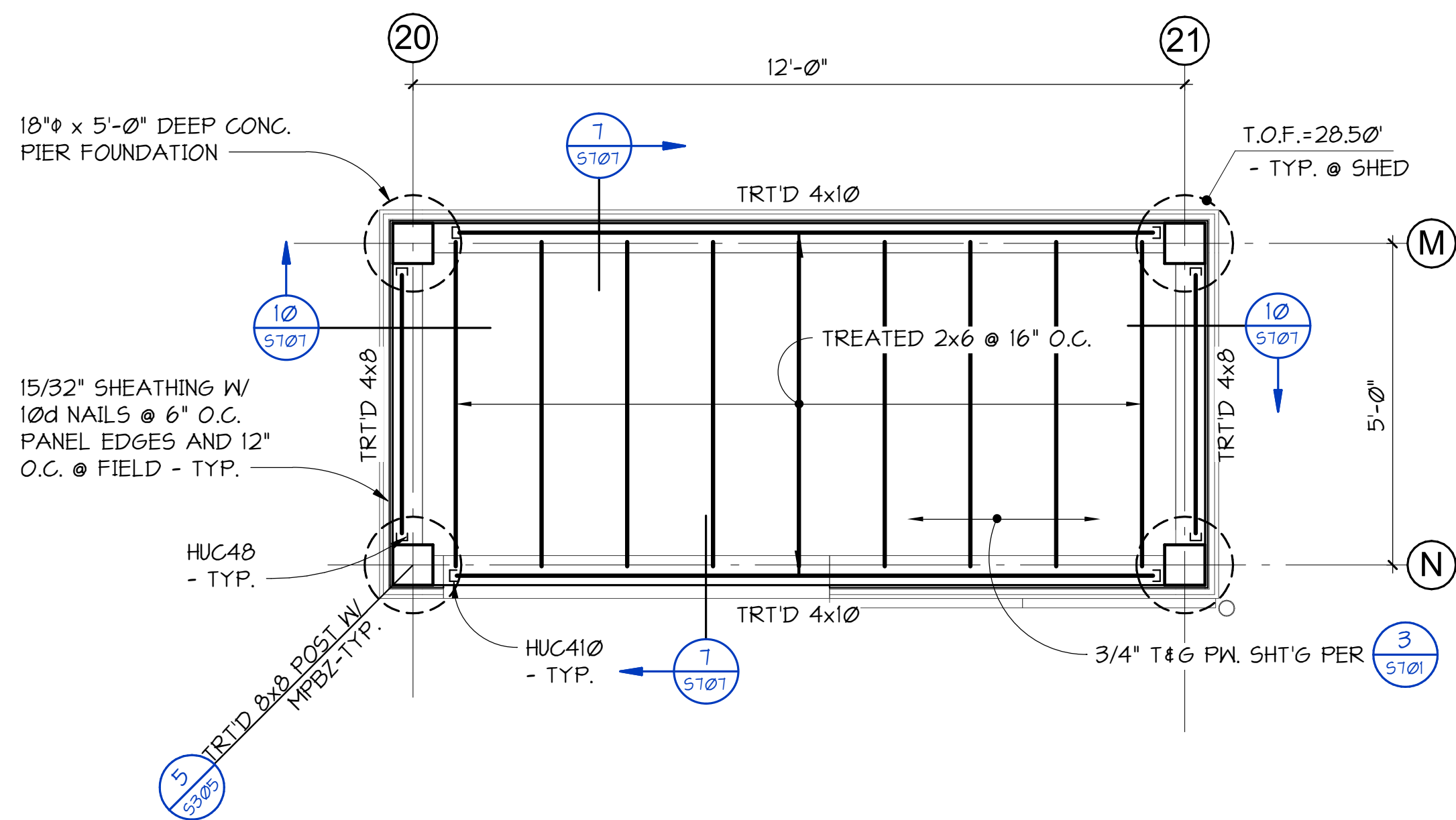
UTILITIES & PAVING PLAN
C300



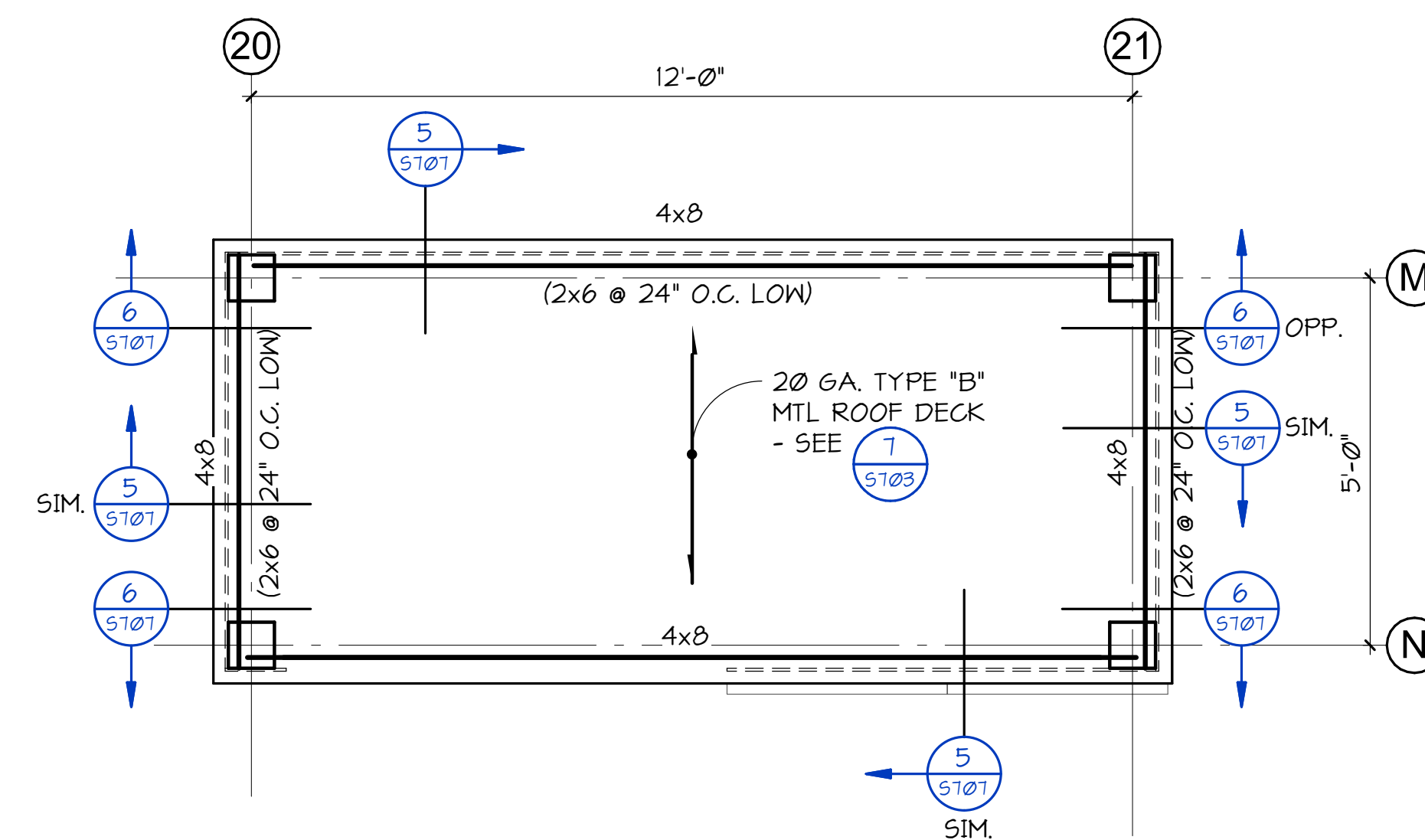
1 GARAGE - FOUNDATION PLAN
 S151 1/4" = 1'-0"



2 GARAGE - ROOF FRAMING PLAN
 S151 1/4" = 1'-0"



3 SHED - FOUNDATION PLAN
 S151 1/2" = 1'-0"



4 SHED - ROOF FRAMING PLAN
 S151 1/2" = 1'-0"

C:_Revit_Models\21201 Mercer Island Residence R2022 (Central)_sswney.rvt

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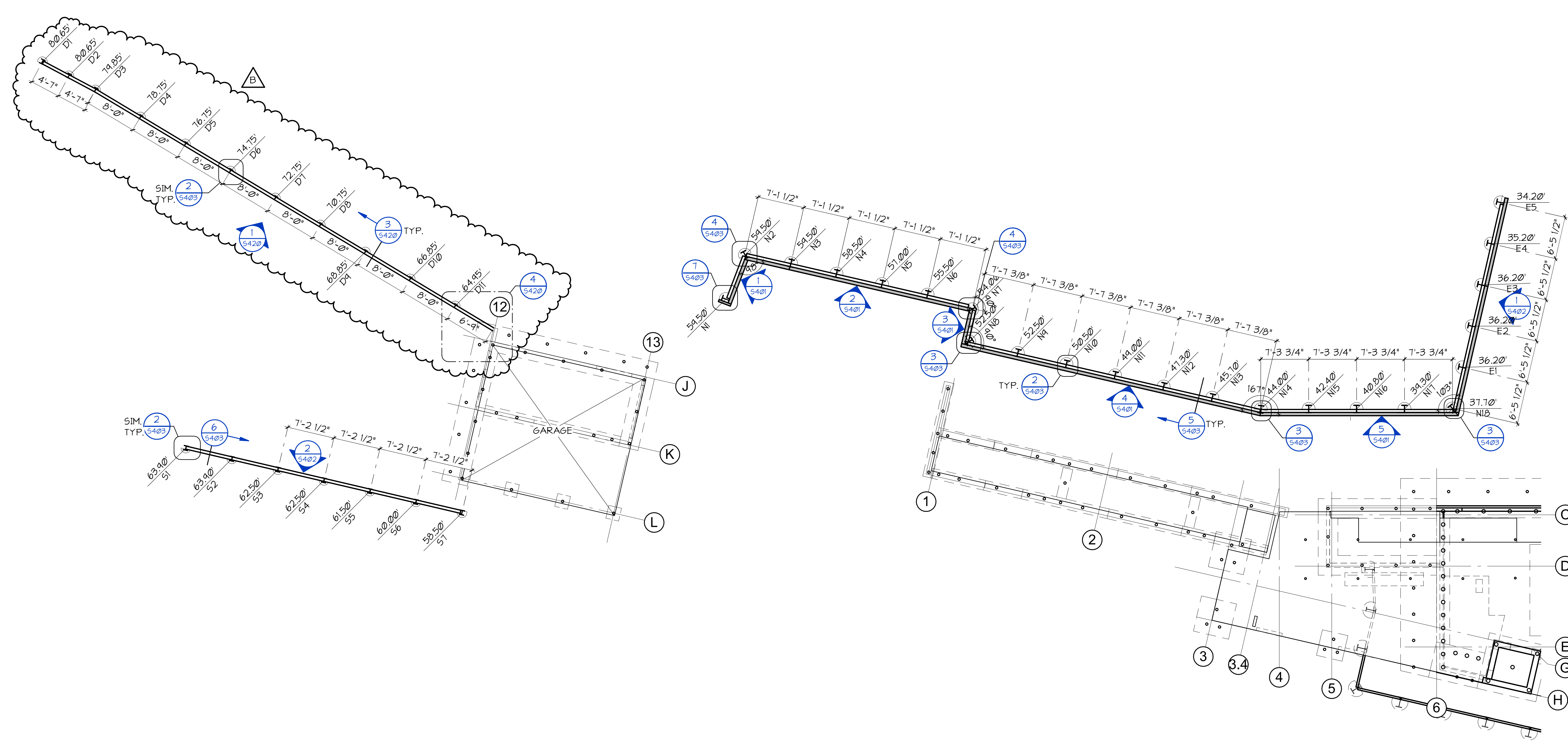
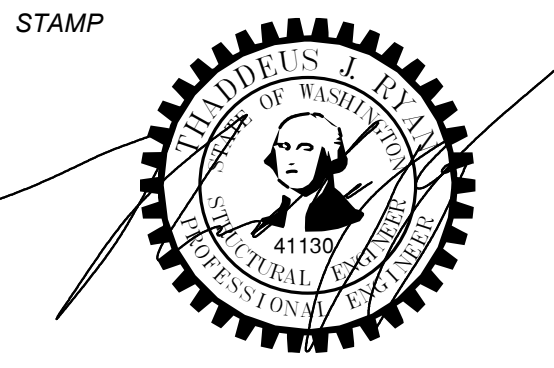
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Issue Date: February 24, 2023

SHEET

GARAGE AND SHED PLANS
S151



STAMP

MERCER ISLAND HOUSE: CASCADE

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 MERCER ISLAND, WA 98040

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SHEET

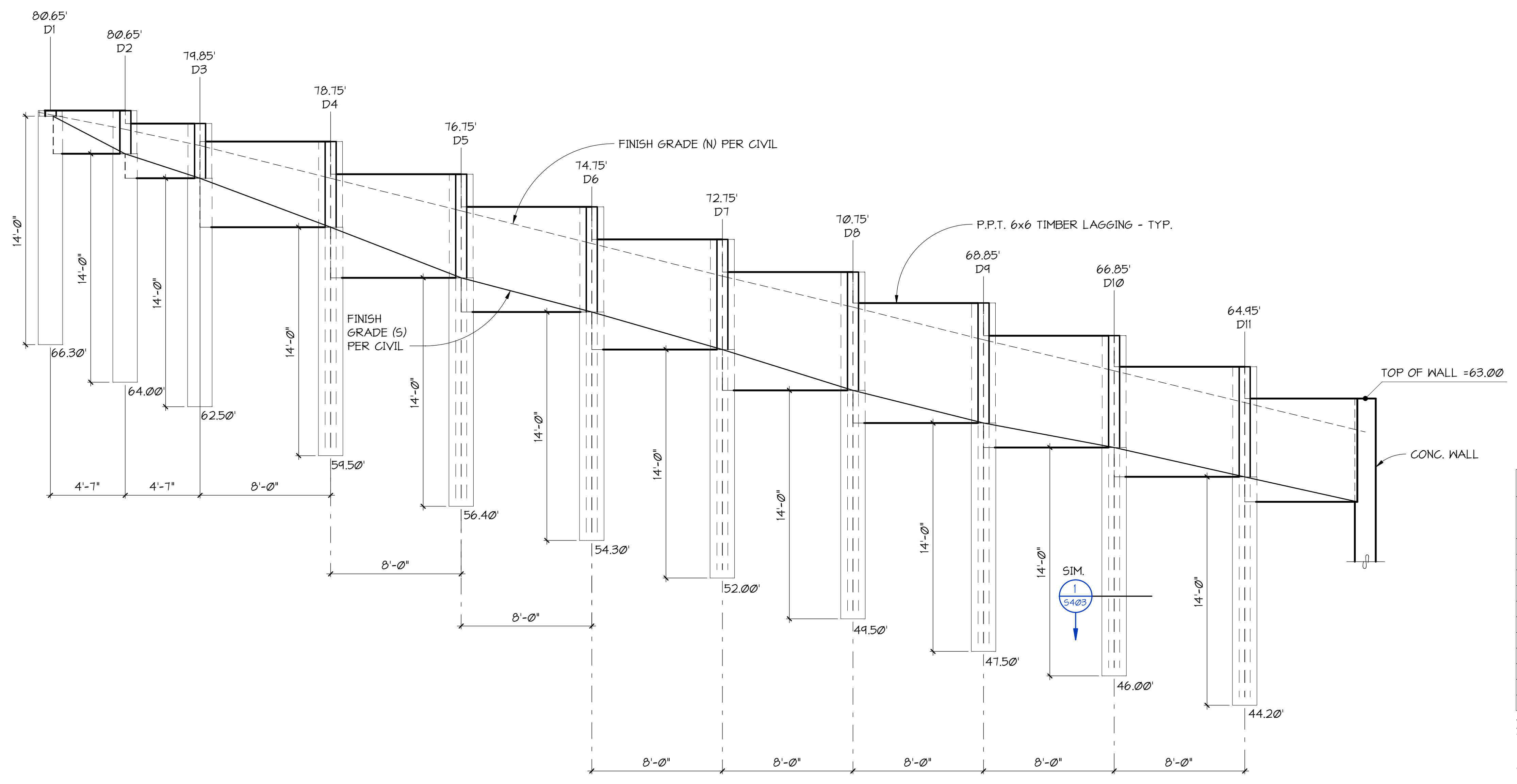
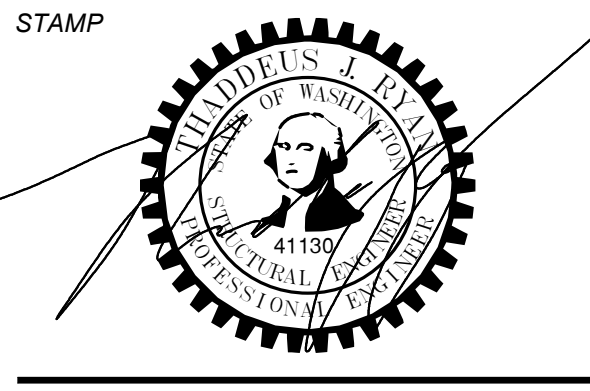
SOLDIER PILE WALL PLAN S400

1 SOLDIER PILE WALL PLAN
 1/8" = 1'-0"

NOTES:

- INDICATES TOP OF STEEL PILE ELEVATION FOR FABRICATION PURPOSES. ELEVATION IS RELATIVE TO FINAL GRADE.
- INDICATES STEEL PILE TYPE - SEE SHEET S401, S402, AND S420 FOR SCHEDULES. SEE S403 FOR DETAILS.
- BOTTOM OF EXCAVATION ELEVATION PER CIVIL DRAWINGS.
- SEE CIVIL AND LANDSCAPE FOR WALL DETAILS.
- HORIZONTAL LOCATION OF SOLDIER PILES PER CIVIL.

C:_Revit_Models\21201 Mercer Island Residence R2022 (Central)_ssweeney.rvt



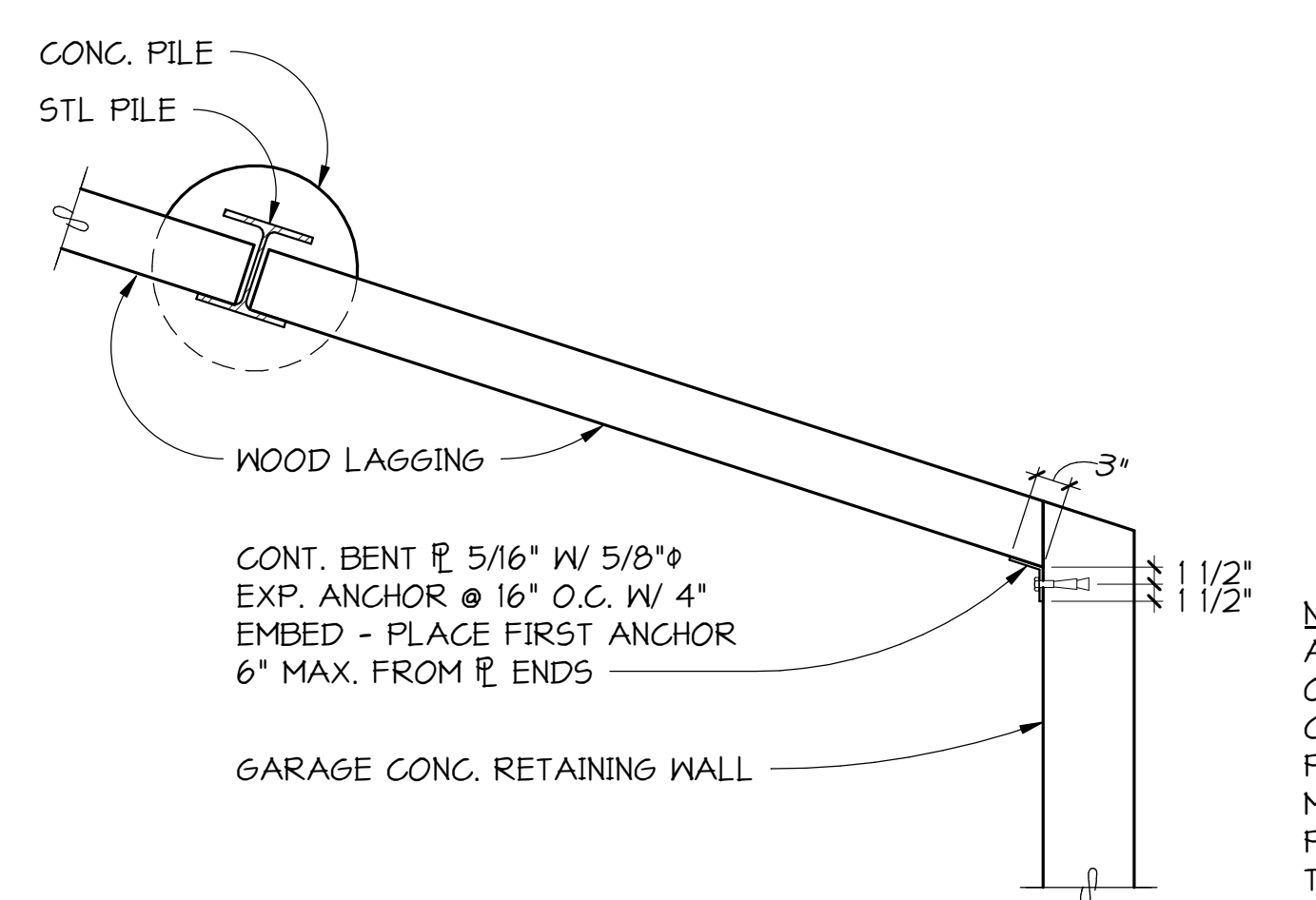
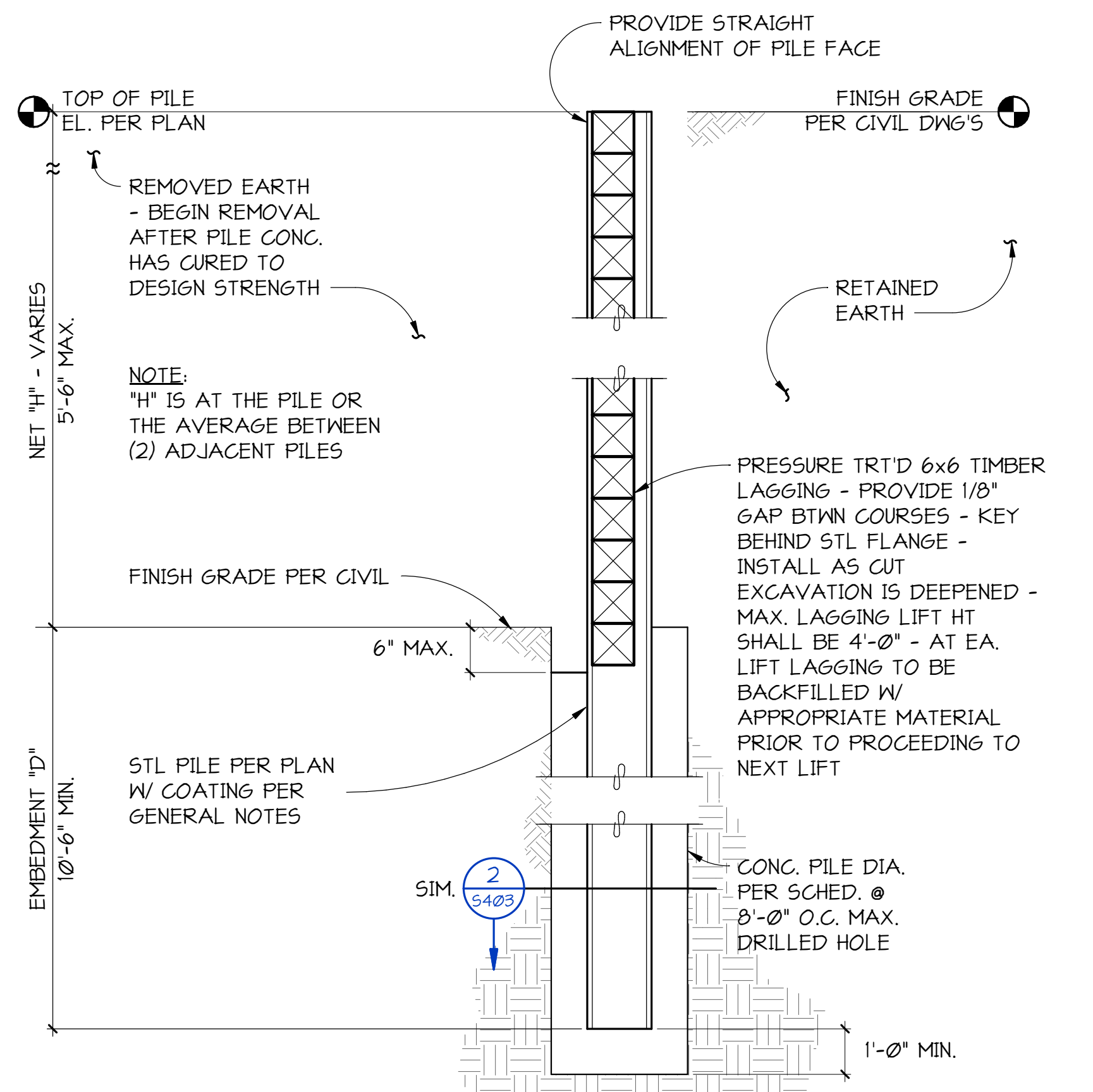
SOLDIER PILE SCHEDULE - DRIVEWAY WALL

PILE #	PILE SIZE	DIAMETER	TOP OF PILE (1)	BOT. OF EXCAVATION (2)	D (FT.)	BOT. OF PILE
D1	W8x40	18"	80.65'	80.30'	14'	66.30'
D2	W8x40	18"	80.65'	78.00'	14'	64.00'
D3	W8x40	18"	79.85'	76.50'	14'	62.50'
D4	W8x40	18"	78.75'	73.50'	14'	59.50'
D5	W8x40	18"	76.75'	70.40'	14'	56.40'
D6	W8x40	18"	74.75'	68.30'	14'	54.30'
D7	W8x40	18"	72.75'	66.00'	14'	52.00'
D8	W8x40	18"	70.75'	63.50'	14'	49.50'
D9	W8x40	18"	68.85'	61.50'	14'	47.50'
D10	W8x40	18"	66.85'	60.00'	14'	46.00'
D11	W8x40	18"	64.95'	58.20'	14'	44.20'

- NOTES:**
- CONTRACTOR TO VERIFY TOP OF PILE ELEVATION WITH CIVIL DRAWINGS.
 - CONTRACTOR TO VERIFY BOTTOM OF EXCAVATION WITH CIVIL DRAWINGS.

1 WALL ELEVATION
 1/4" = 1'-0"

2 SOLDIER PILE SCHEDULE
 NO SCALE



3 SECTION
 3/4" = 1'-0"

4 SECTION
 3/4" = 1'-0"

MERCER ISLAND HOUSE: CASCADE

6838 96TH AVE SE
 MERCER ISLAND, WA 98040

SUBMITTAL

100% CONSTRUCTION DOCUMENTS

December 8, 2023

REVISIONS

No.	Description	Date
A	CA REVISION	
B	PERMIT REVISION	12/8/23

Drawn: SMS
 Checked: AED
 MJH Proj No.: A20.0085.00
 Issue Date: December 8, 2023

